

031.0

0005

0009.0

Map

Block

Lot

1 of 1

Residential

ARLINGTON

APPRAISED:

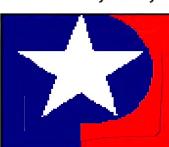
Total Card / Total Parcel

USE VALUE:

1,028,100 / 1,028,100

ASSESSED:

1,028,100 / 1,028,100


Patriot
 Properties Inc.

PROPERTY LOCATION

IN PROCESS APPRAISAL SUMMARY

No	Alt No	Direction/Street/City
33-35		ADAMS ST, ARLINGTON

Legal Description						User Acct
						21933
						GIS Ref
						GIS Ref
						Insp Date
						10/07/17

OWNERSHIP

Unit #:

Owner 1: PEPE JAMES T ETAL/ TRUSTEES

Owner 2: ROSEMARY A JENSETH REVOCABLE

Owner 3: TRUST

Street 1: 126 PROSPECT ST

Street 2:

Twn/City: BELMONT

St/Prov: MA Cntry Own Occ: N

Postal: 02478 Type:

PREVIOUS OWNER

Owner 1: PEPE JAMES T & -

Owner 2: JENSETH ROSEMARY A -

Street 1: 126 PROSPECT ST

Twn/City: BELMONT

St/Prov: MA Cntry

Postal: 02478

NARRATIVE DESCRIPTION

This parcel contains .112 Sq. Ft. of land mainly classified as Two Family with a Multi-Garden Building built about 1922, having primarily Vinyl Exterior and 2597 Square Feet, with 2 Units, 2 Baths, 0 3/4 Bath, 0 HalfBath, 12 Rooms, and 6 Bdrms.

OTHER ASSESSMENTS

Code Descrip/No Amount Com. Int

EXTERIOR INFORMATION				BATH FEATURES				COMMENTS				SKETCH									
Type: 13 - Multi-Garden	2A - 2 Sty +Attic	Full Bath: 2	Rating: Average	A Bath:	Rating:																
(Liv) Units: 2	Total: 2	3/4 Bath:	Rating:	A 3QBth:	Rating:																
Foundation: 2 - Conc. Block	Frame: 1 - Wood	1/2 Bath:	Rating:	A HBth:	Rating:																
Prime Wall: 4 - Vinyl	Sec Wall:	OthrFix:	Rating:																		
Roof Struct: 1 - Gable	Roof Cover: 1 - Asphalt Shgl	OTHER FEATURES		Kits: 2	Rating: Average	1st Res Grid Desc: Line 1 # Units 2															
Color: WHITE	View / Desir:	A Kits:	Rating:	Fpl: 2	Rating: Average	Level	FY	LR	DR	D	K	FR	RR	BR	FB	HB	L	O			
GENERAL INFORMATION				WSFlue:	Rating:	Other															
Grade: C - Average	Year Blt: 1922	Eff Yr Blt:	Location:	Upper																	
Alt LUC:	Alt %:	Total Units:	Lvl 2																		
Jurisdct: G15	Fact: .	Floor:	Lvl 1																		
Const Mod:	Lump Sum Adj:	% Own:	Lower																		
INTERIOR INFORMATION				Name:	Totals	RMs: 12	BRs: 6	Baths: 2	HB												
Avg Ht/FL: STD	Prim Int Wal 2 - Plaster	DEPRECIATION		Exterior:	No Unit	RMS	BRS	FL													
Sec Int Wall:	Partition: T - Typical	Phys Cond: GD - Good	18. %	Interior:	2	6	3														
Prim Floors: 3 - Hardwood	Sec Floors:	Functional:	%	Additions:																	
Sec Int Wall:	Bsmnt Flr: 12 - Concrete	Economic:	%	Kitchen:																	
Partition: T - Typical	Subfloor:	Special:	%	Baths:																	
Insulation: 2 - Typical	Bsmnt Gar:	Override:	%	Plumbing:																	
Int vs Ext: S	Electric: 3 - Typical	Total:	18.6 %	Electric:																	
Heat Fuel: 2 - Gas	Insulation: 2 - Typical	CALC SUMMARY		Heating:																	
Heat Type: 5 - Steam	Int vs Ext: S	Basic \$ / SQ: 180.00	COMPARABLE SALES		General:																
# Heat Sys: 2	Heat Fuel: 2 - Gas	Size Adj.: 1.07962358	Rate	Parcel ID	Typ	Date	Sale Price														
% Heated: 100	Heat Type: 5 - Steam	Const Adj.: 0.98000199																			
Solar HW: NO	% Com Wal	Adj \$ / SQ: 190.446																			
% Sprinkled	Other Features: 116500																				
NBHD Inf: 1.00000000		Grade Factor: 1.00																			
NBHD Mod:		NBHD Inf: 1.00000000																			
LUC Factor: 1.00		Adj Total: 700088																			
Adj Total: 700088		Depreciation: 130216																			
Depreciated Total: 569872		Final Total: 569900																			
MOBILE HOME																					
Make: _____ Model: _____ Serial #: _____ Year: _____ Color: _____																					
SPEC FEATURES/YARD ITEMS																					
PARCEL ID 031.0-0005-0009.0																					
Code	Description	A	Y/S	Qty	Size/Dim	Qual	Con	Year	Unit Price	D/S	Dep	LUC	Fact	NB Fa	Appr Value	JCod JFact	Juris. Value				
3	Garage	D	Y	1	19X19	A	GD	1922	21.93	T	30	104			5,500		5,500				
More: N				Total Yard Items:		5,500		Total Special Features:						Total:		5,500					